

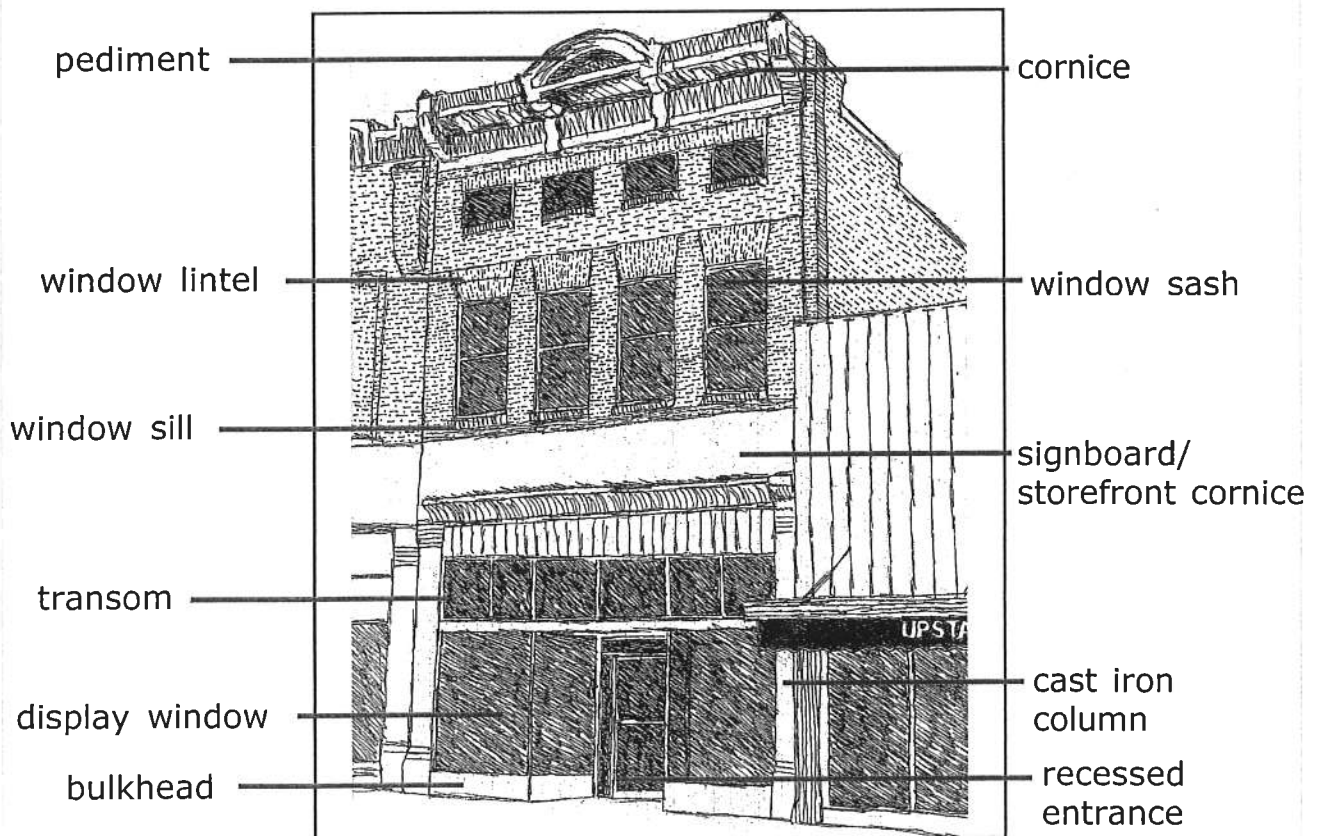
## section

## five

## Commercial and Industrial Rehabilitation Guidelines

Following are rehabilitation guidelines specific to Newnan's commercial and industrial buildings. These guidelines provide guidance to property owners in making sound decisions when planning and carrying out a rehabilitation project as well as providing technical information regarding historic materials and appropriate rehabilitation methods.

The guidelines are illustrated by specific examples from Newnan. Each example has a caption that explains what is appropriate or not appropriate. Appropriate examples are accompanied by a ✓. Inappropriate examples are accompanied by an ✗.



# Storefronts

The elements and arrangement of the first-floor storefront space identifies a building as a commercial enterprise open to the public. A storefront consists of specific elements such as large glass windows for displaying merchandise and an entrance that may be recessed to provide a covered entry for the customer. Transom windows are often placed across the top of the display windows to allow more light into the interior retail space. A storefront cornice tops the storefront and divides it from the upper facade.

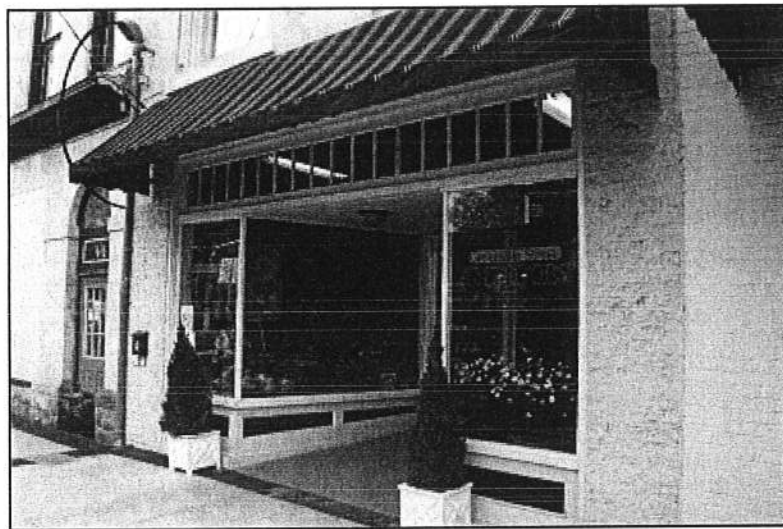
Storefronts typically are the location of the majority of alterations and modernizations made to commercial buildings. Particularly during the 1960s and 1970s, the replacement of older wood storefronts with contemporary aluminum-frame elements was popular. The storefronts of the 1940s and 1950s that were given a more modern and streamlined look with materials such as Carrara glass, metal frames, and glass block are now or will soon be historic.

## Guidelines

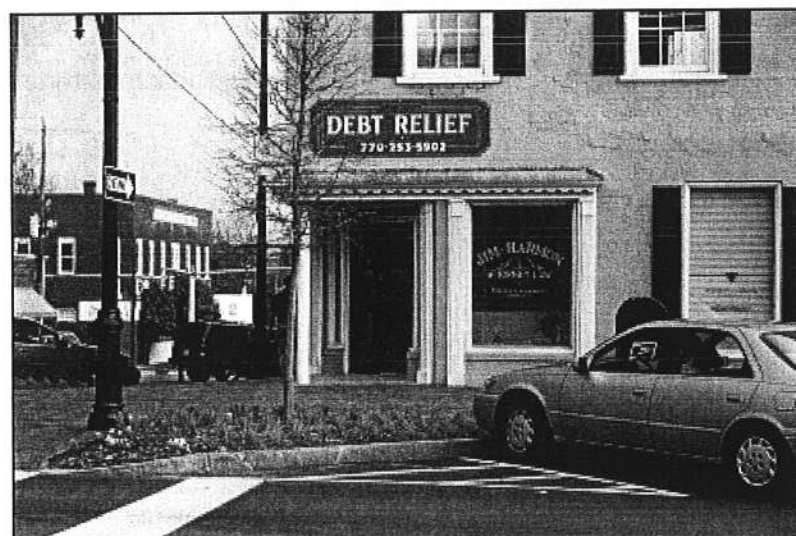
- Retain original elements and their arrangement when rehabilitating an intact storefront.
- If the original storefront has been partially or completely removed, reconstruction of the storefront should be based on historical, pictorial, or physical documentation.
- If no documentation or evidence of the original storefront can be found, the new storefront design should have elements compatible with the size, scale, materials, and arrangement of similar historic storefronts.
- Historic storefront additions that have become significant should be preserved.
- Historic storefronts should not be covered with materials that hide character-defining elements and their arrangement; the removal of these nonhistoric materials is encouraged.



- ✓ The storefronts in this building retain their original arrangements including cast-iron columns, display windows, transoms, and entrances.



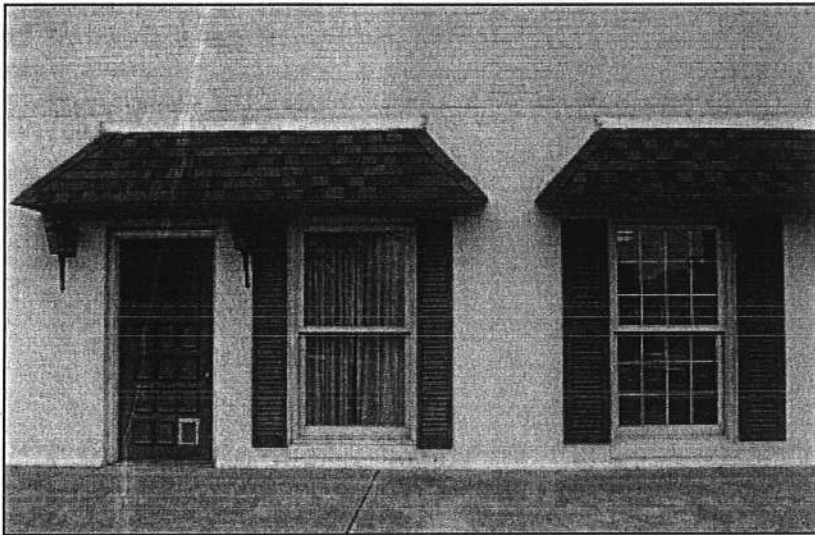
- ✓ This storefront retains its recessed entrance, large display windows, wood-paneled bulkheads, and multi-pane transom.



- ✓ This corner storefront retains its distinctive angled entrance and corner support column as well as its display windows.



**X** This building's originally open glass storefront has been completely infilled with solid materials.



**X** This street-level storefront space has been infilled with solid wall materials punctuated only by single windows and doors.



**X** This storefront has been covered with inappropriate materials.

# Entrances

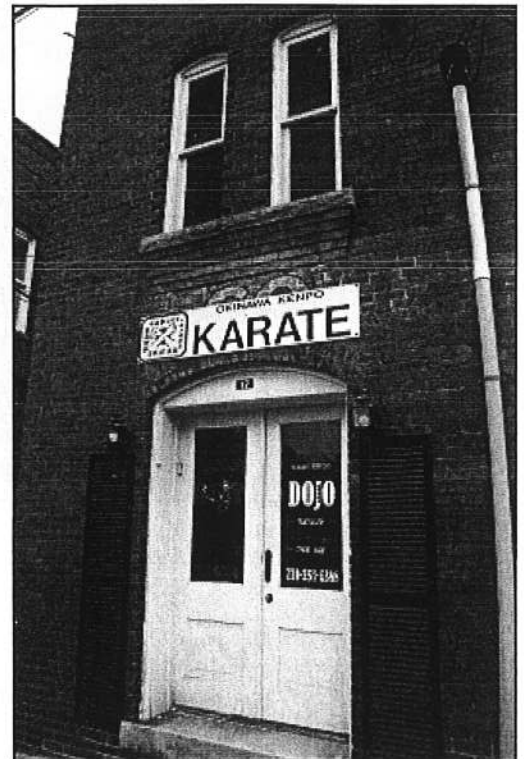
Besides storefronts, commercial buildings have other types of entrances on their street-level facades that provide a welcoming introduction to the business establishment within. These may include the entrance to a lobby or the stairway entrance leading to a building's upper floors.

## Guidelines

- Retain original first- and second-floor entrances and their configurations when rehabilitating a building's intact facade(s).
- Original entrances should not be covered or infilled.
- If replacement or reconstruction of entrance area doors, windows, and details is required, the replacement features should be compatible in size, scale, materials, and arrangement to original or similar historic features.

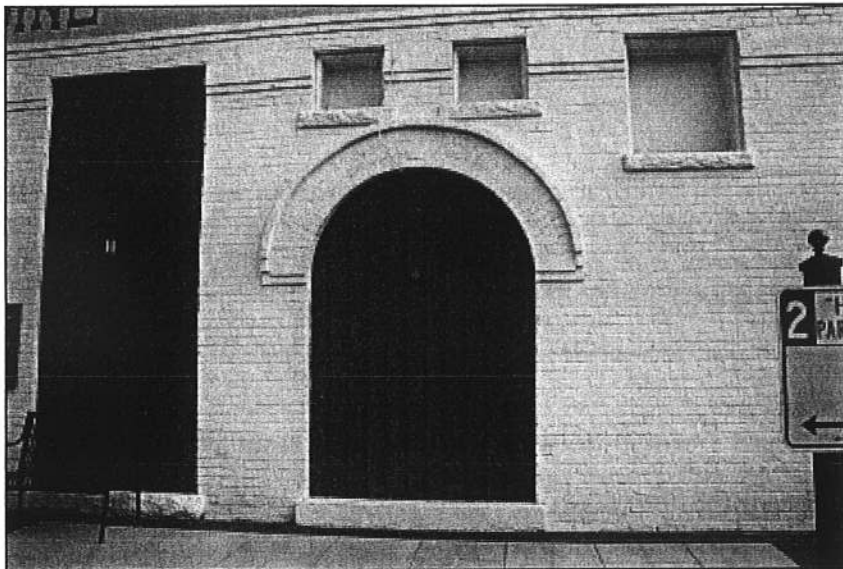


✓ This entrance retains its arched transom, wood door frame, and double wood doors.

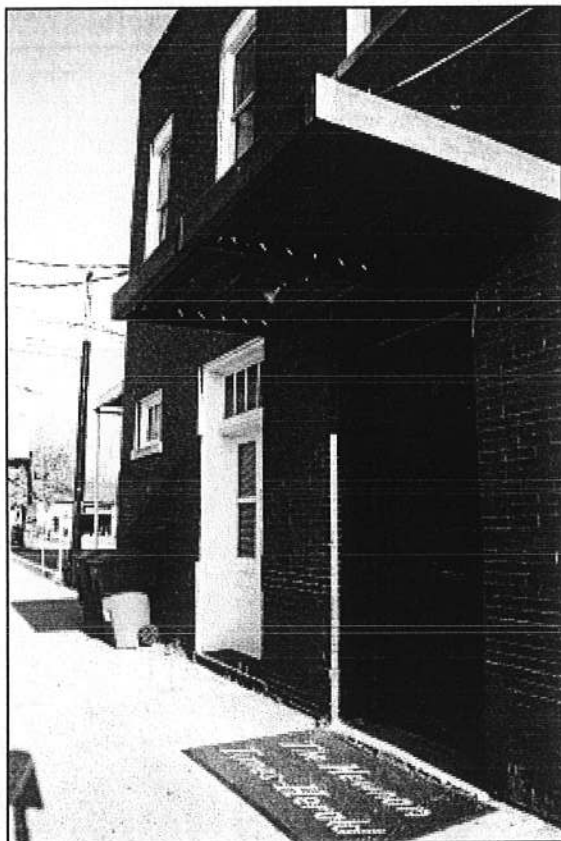


✓ This entrance retains its double wood-and-glass doors; the shutters are an added nonhistoric feature.





✓ Although it may no longer be used, this arched entrance retains its original wood door.



✓X The entrance on the left retains its original door and transom; the entrance on the right has been replaced with an inappropriate anodized aluminum door, frame, and transom.



✓X This arched entranceway remains intact but its door and transom have been replaced.

## Upper Floor Spaces

The upper floors of commercial buildings typically contain private spaces such as offices, storage areas, and sometimes residential living space. Rows of windows distinguish this upper-floor use from the first-floor public storefront space. The upper part of a commercial building's facade is often the location of stylistic details such as decorative window hoods, pilasters, and cornices. Upper facades, like storefronts, often fall victim to "modernization" and the loss of their distinctive features and materials.

### Guidelines

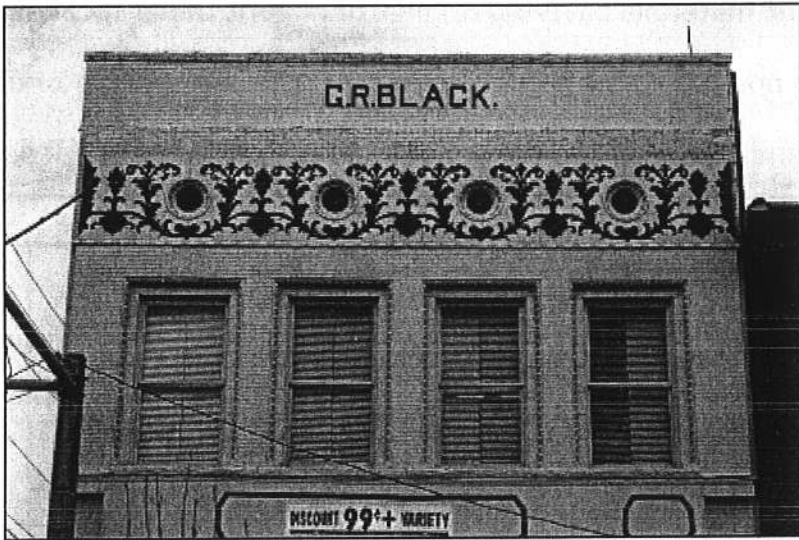
- Upper floors should not be covered with materials that obscure the facade's character-defining elements and their arrangement.
- Removal of nonhistoric materials covering original or historic upper facades is encouraged.
- Upper-floor window openings should not be infilled with any nonhistoric permanent materials.
- Decorative features and stylistic details of upper facades should be retained.



✓ This intact upper facade retains its decorative cornice, window hoods, and double-hung wood windows.



✓ This upper facade retains its distinctive round-arched windows.

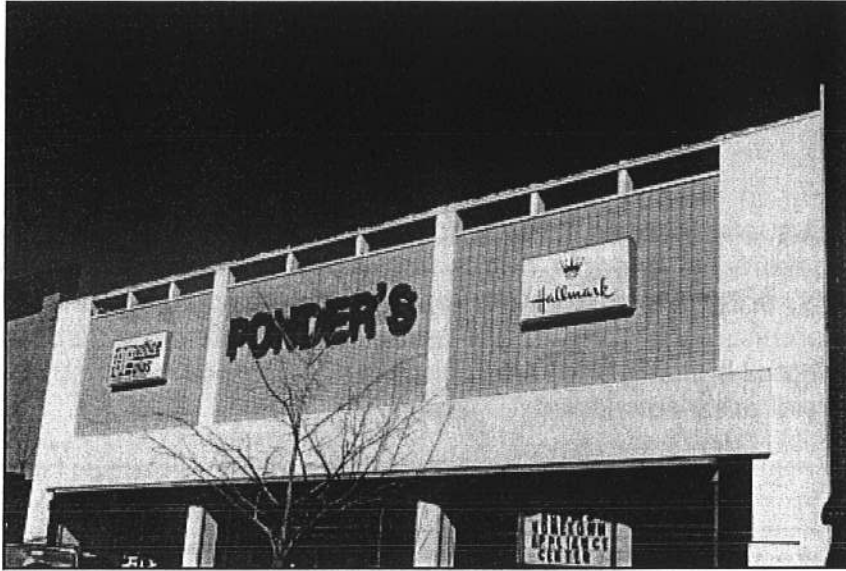


✓X This upper facade retains its double-hung windows and distinctive details but has lost its cornice.



X This historically brick upper facade and its details have been inappropriately covered with stucco.





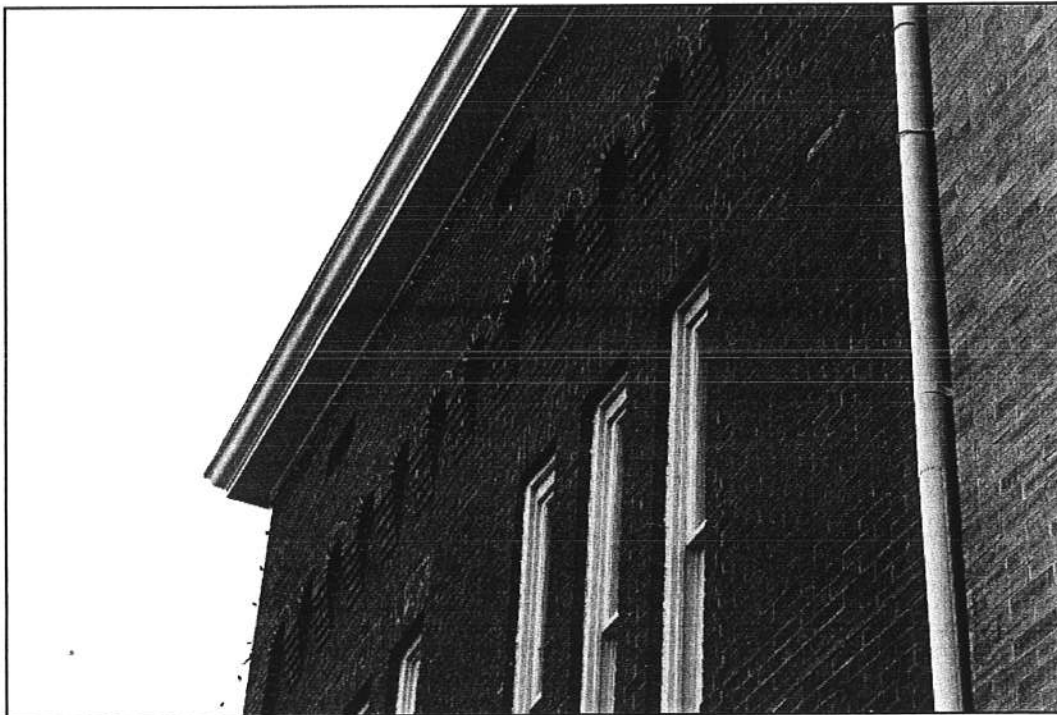
**X** This upper facade has been completely covered with inappropriate materials.

# Architectural Details

Architectural details are usually focused on a commercial building's primary facade. These details include decorative window hoods and arches, pilasters, cornices, brickwork, parapet walls, entrance surrounds, and other features that show the influence of design and architectural style. These features help define the distinctive character of each commercial building and reflect the various periods of construction during which a commercial area developed.

## Guidelines

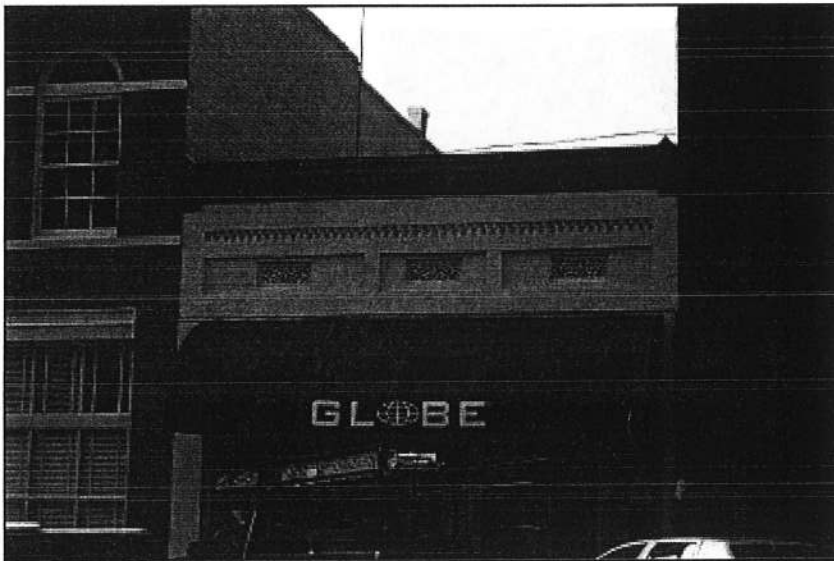
- Retain original architectural details on commercial buildings and keep them well-maintained.
- Removal of original details or application of details inappropriate to the period or style of a building is discouraged.
- Repair rather than replace damaged elements whenever possible; repair of damaged features should retain as much original material as possible.
- All replacement features should be of compatible design to the original and documented by historical evidence.



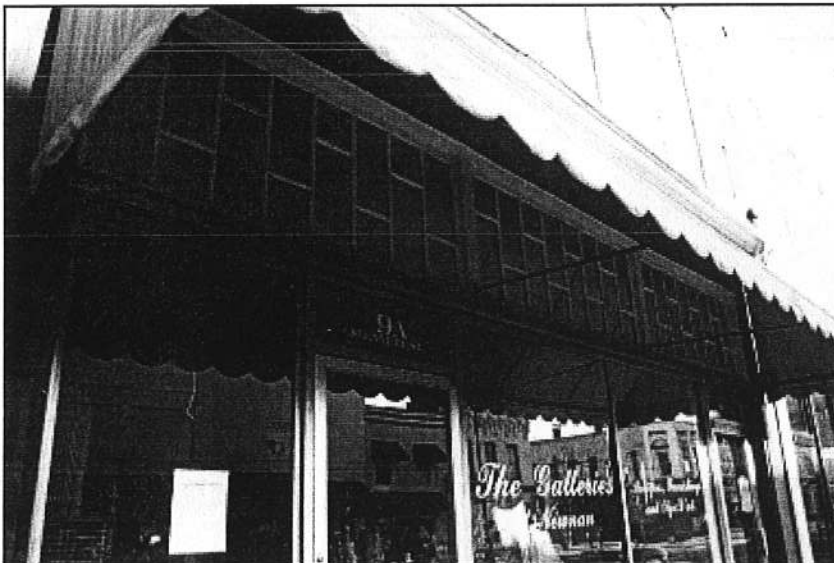
✓ The brick corbelling on this upper facade is a distinctive detail that should be retained.



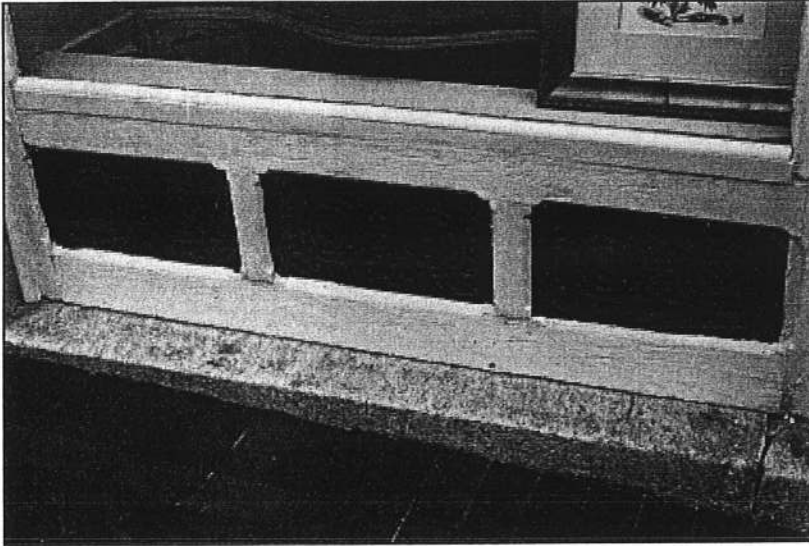
✓ This very decorative cornice is a significant character-defining feature of the 1895 Murray Warehouse Block.



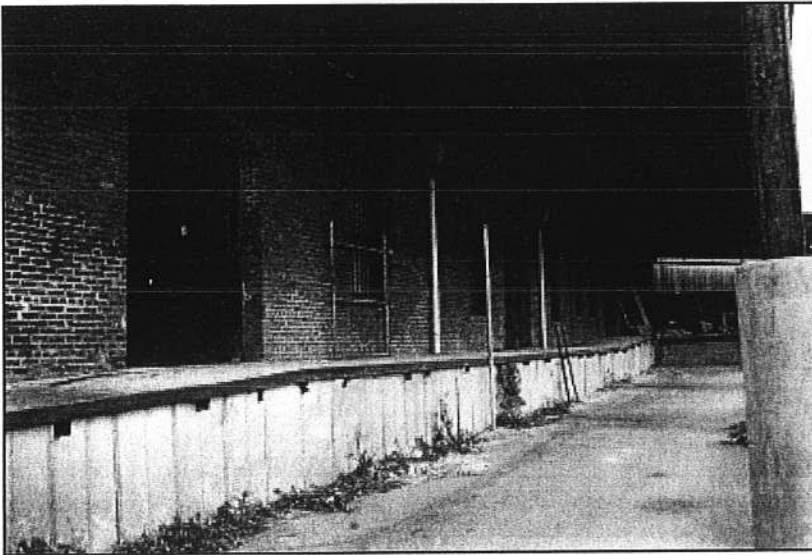
✓ The decorative grilles, brick detailing, and pressed metal cornice are important details on this commercial building.



✓ The distinctive transom is an important feature of this storefront.



✓ The cast-iron grilles in this bulkhead are significant details of this storefront.



✓ Wide, arched openings and loading docks are distinctive features of industrial buildings that should be retained.



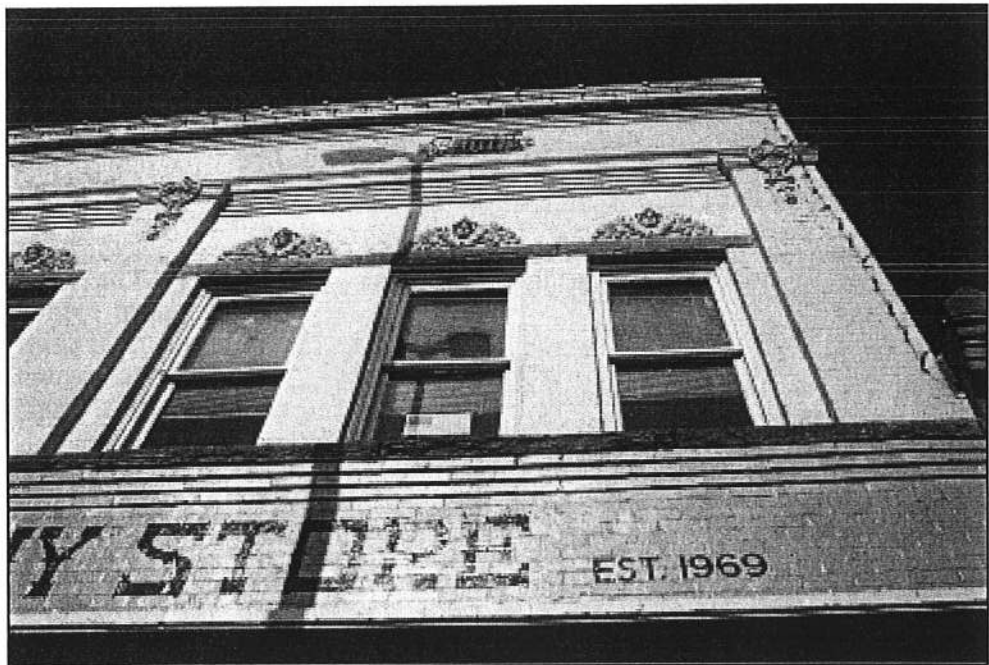
✓ Stepped parapet walls are also distinctive features of industrial buildings.

# Windows

Windows in historic commercial buildings provide light into upper floors and help define a building's character and style. Window openings that have been covered or infilled with a solid material give a "blank" appearance to a building facade. When original windows have been replaced with inappropriate substitutes, the character of a building changes.

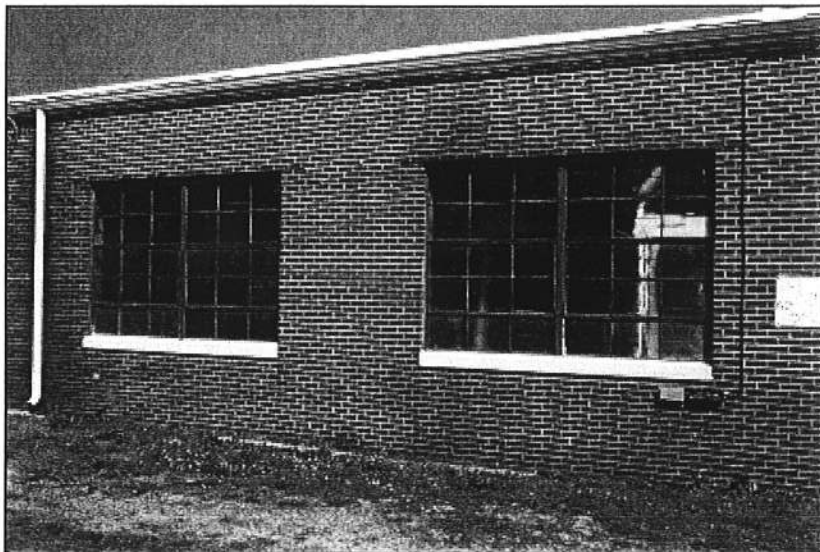
## Guidelines

- Historic windows, including window sash, glass, lintels, sills, frames, moldings, and all hardware should be retained and repaired through routine maintenance whenever possible.
- When deteriorated window elements must be replaced, new elements should be compatible with the original in terms of materials, design, and hardware.
- If it is necessary to replace an entire window, the replacement should be sized to the original opening and should duplicate the proportions and configurations of the original window.
- Upper-floor window openings should not be infilled with any nonhistoric permanent materials; restoration of infilled windows to their historic appearance is encouraged.

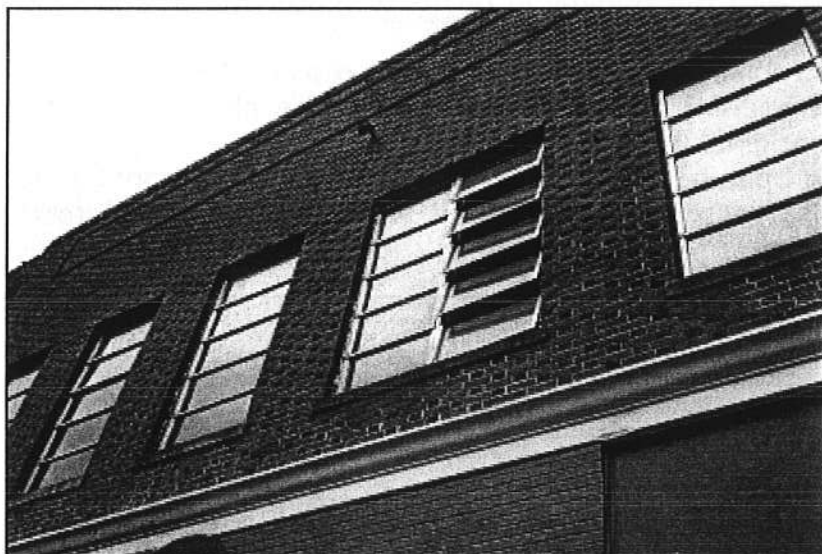


- ✓ The wood, double-hung windows in this building's second floor remain intact and provide light into the interior.

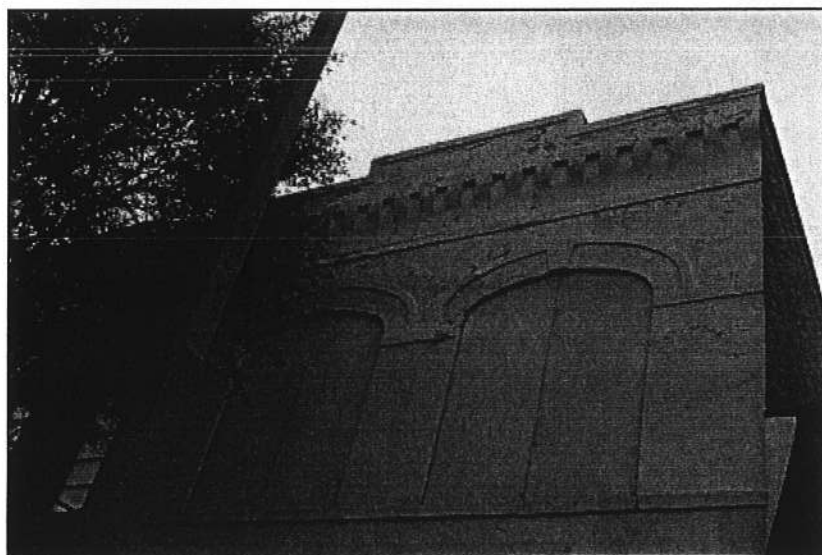




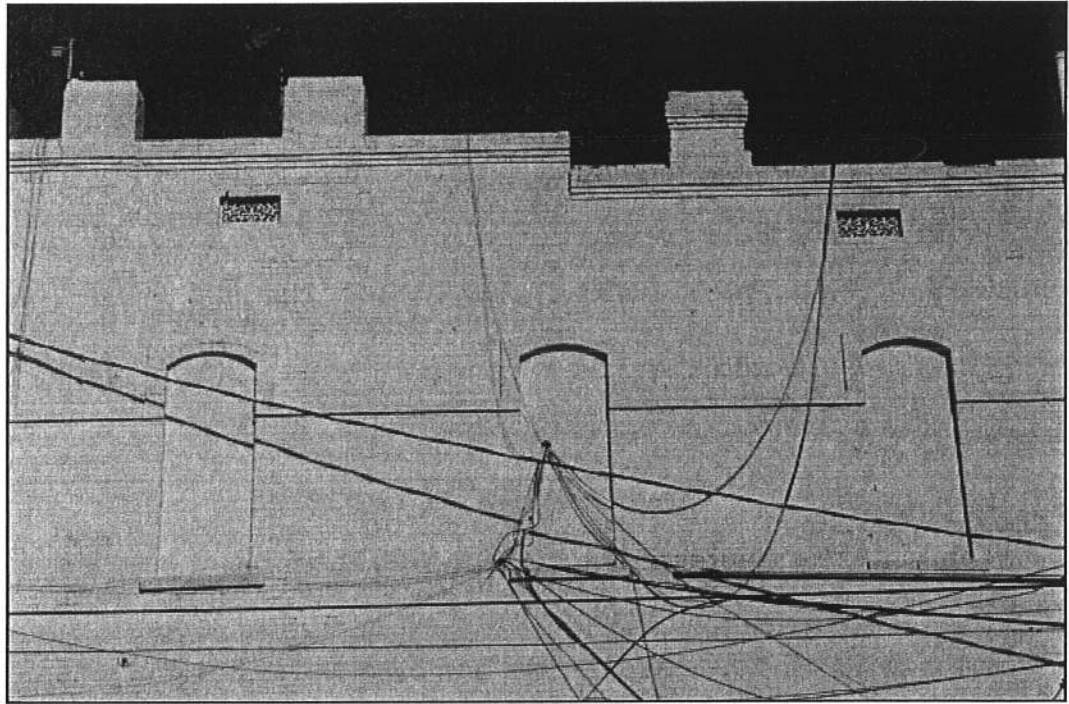
✓ Industrial buildings generally have metal-sash, multi-paned windows with one section that opens inward.



✗ This building's original windows have been replaced with inappropriate metal-frame jalousie windows.



✗ The windows of this upper facade have been completely covered; historic windows may remain intact behind the plywood.



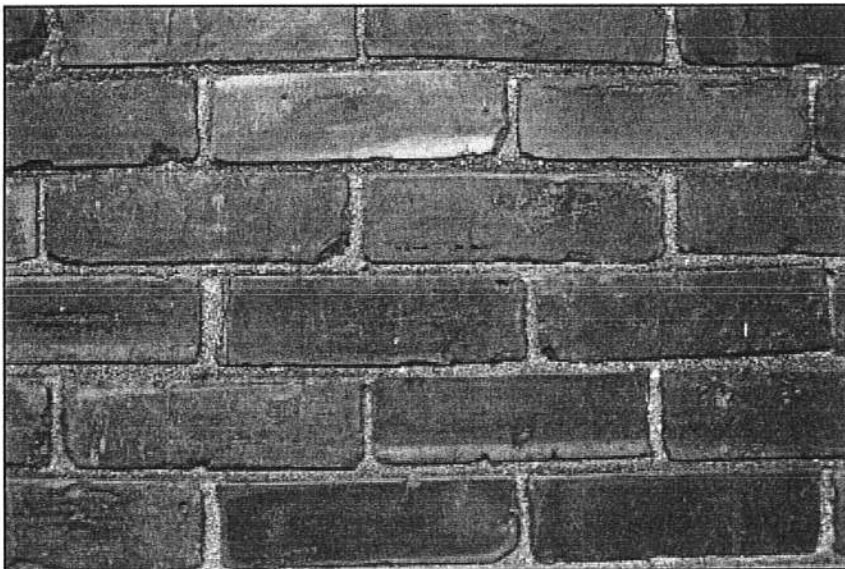
**X** Windows on side facades are also important features of a commercial building, particularly when the side facade is on a prominent corner; these windows have unfortunately been covered.

# Exterior Materials

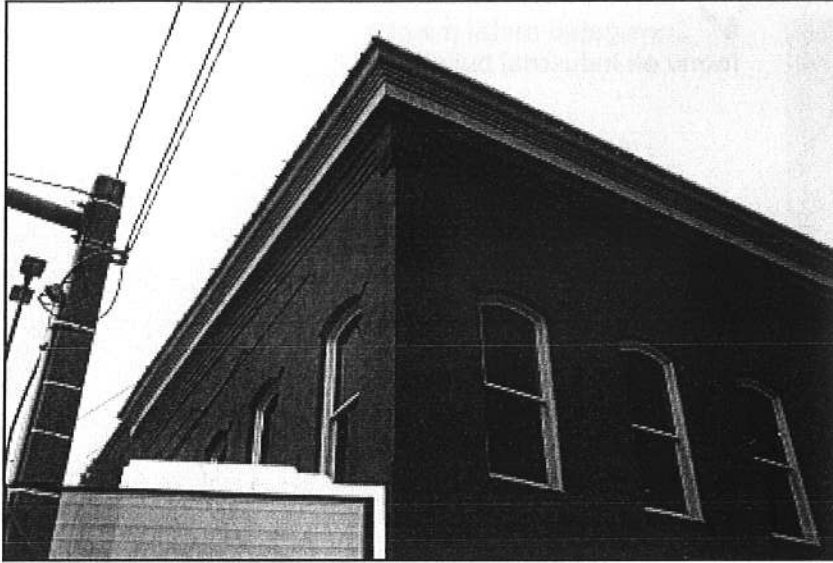
A variety of exterior materials was historically used on commercial buildings. The majority of late-nineteenth- to mid-twentieth-century commercial buildings were constructed of brick. Stone masonry construction was less common. Stucco, terra cotta, and pressed metal were sometimes used as exterior surface materials. Brick and stone as well as terra cotta, pressed metal, and wood were also frequently used for decorative features and as accent materials. Cast iron, wood, bronze, and Carrara glass were often found on storefronts.

## Guidelines

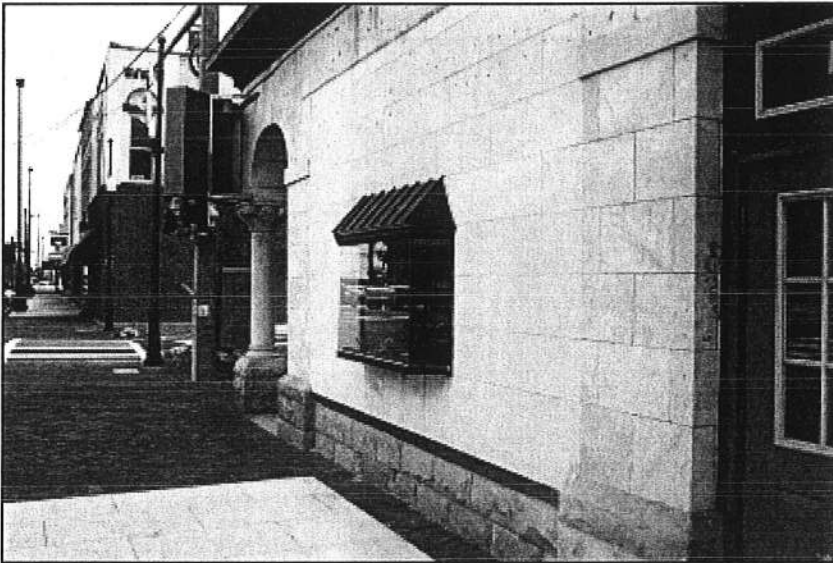
- Preserve original exterior materials to the greatest extent possible; work on these materials should be done with care.
- If replacement of historic materials is necessary, the new materials should match the old in design, color, texture, and other visual qualities; materials should be replaced in kind whenever possible.
- Avoid cleaning methods that damage original materials, such as sandblasting.
- The application of any exterior finish material, such as an exterior insulating finishing system, to historic exterior materials is strongly discouraged.



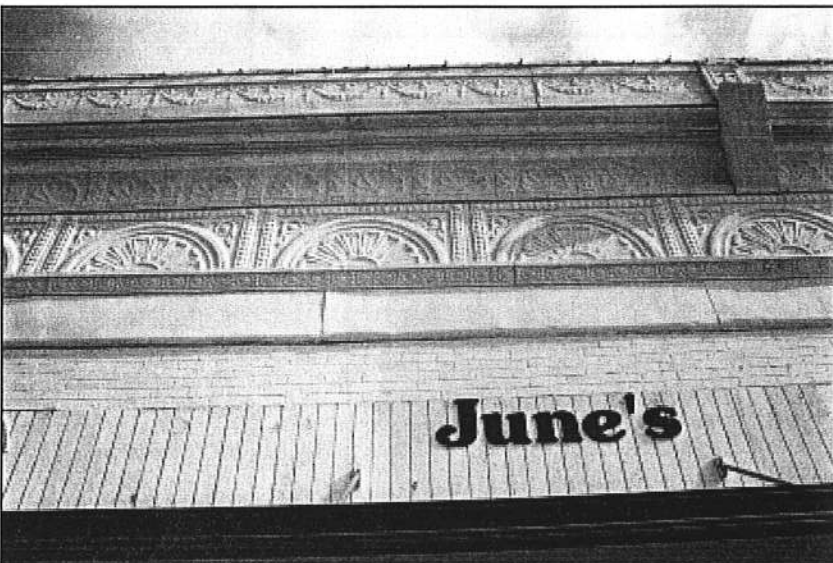
✓ Brick is the most common exterior material for historic commercial buildings; various colors and sizes of brick dating from different periods can be found in many commercial areas.



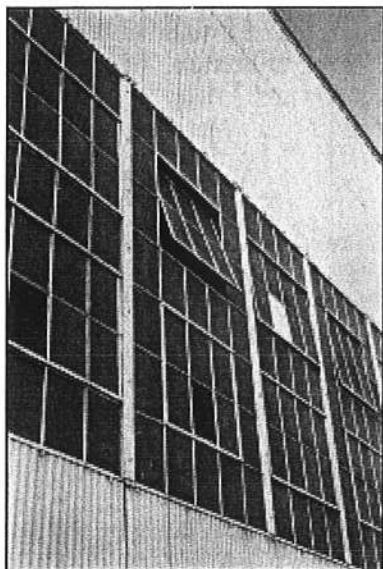
✓ Stucco is sometimes used as an exterior finish material.



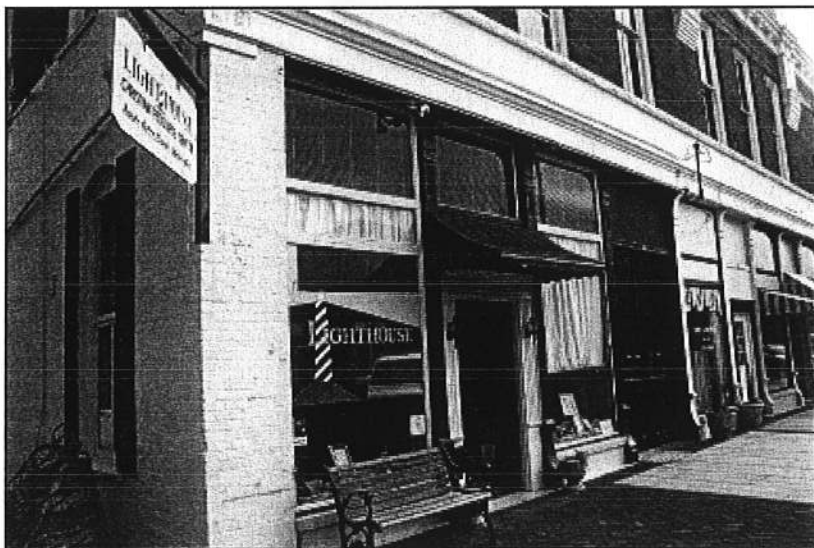
✓ Stone, including granite and marble, was often used as an exterior finish material for banks.



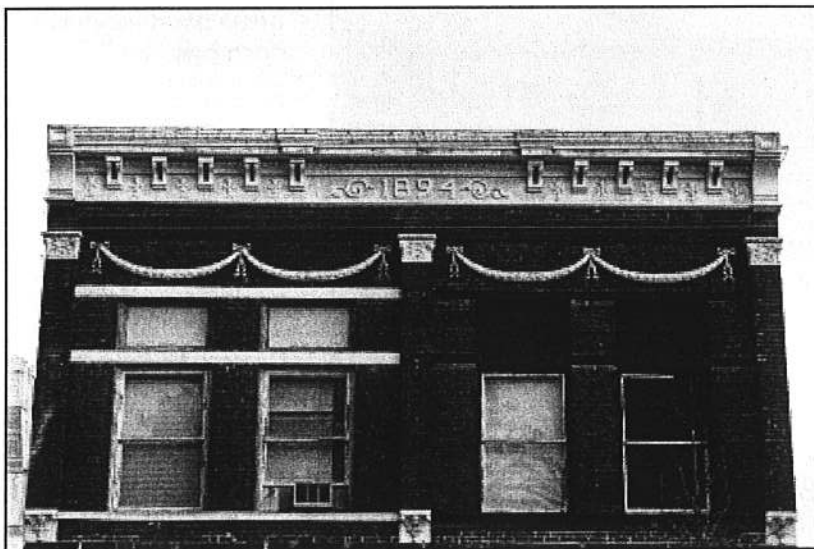
✓ Pressed metal was often used for decorative cornices.



✓ Corrugated metal may be found on industrial buildings.



✓ Cast-iron columns are used to support the weight of upper floors.



✓ Materials such as terra cotta were used for decorative details.

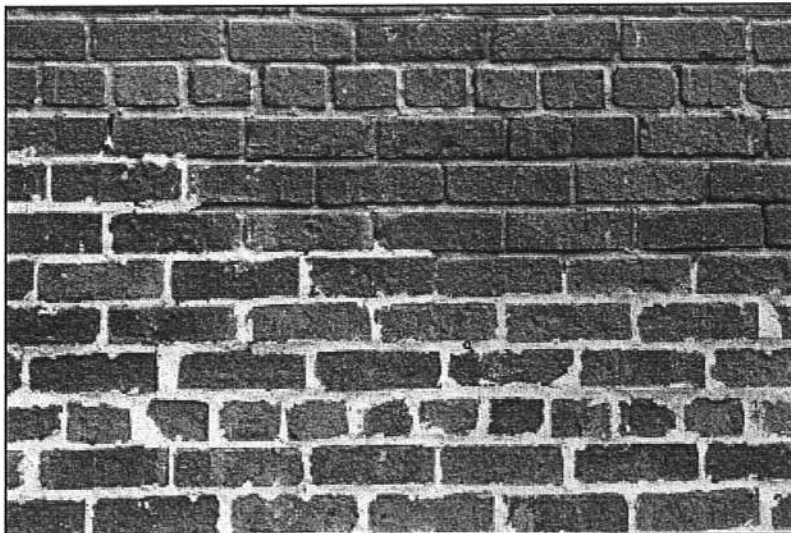


# Repointing and Masonry Repairs

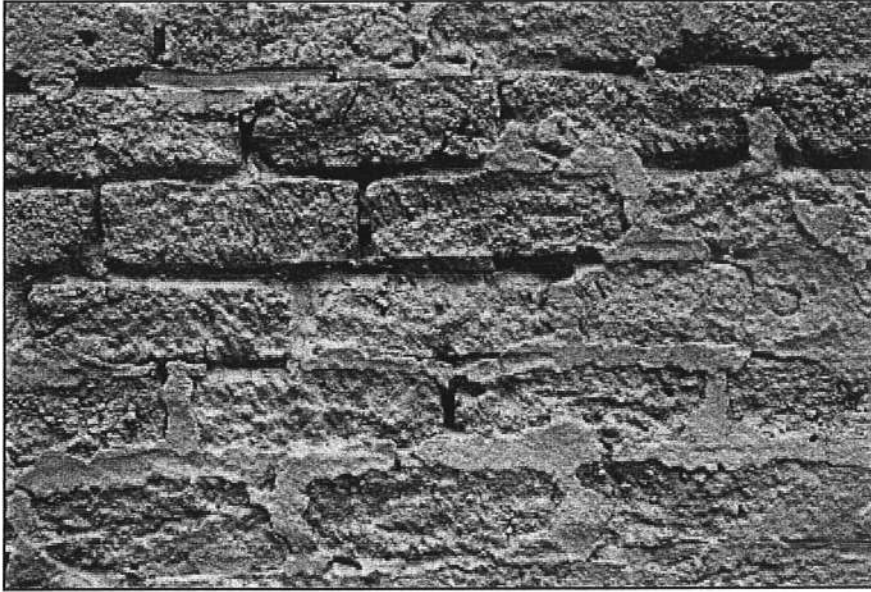
The vast majority of commercial buildings in Newnan are masonry structures—predominantly brick. Although brick is one of the most durable historic building materials, it is susceptible to damage due to harsh or abrasive cleaning methods and to deterioration from excessive moisture. The mortar used to bond the brick together is also very vulnerable to inappropriate repair or maintenance techniques. Correct and timely maintenance of masonry exteriors is vital to the structural health and architectural integrity of historic masonry buildings.

## Guidelines

- Avoid cleaning methods that damage historic masonry, such as sandblasting or harsh chemical treatments; use the gentlest means possible when cleaning masonry.
- Repointing of masonry joints should be undertaken only if necessary.
- When repair or replacement of old mortar is needed, the new mortar should duplicate the old in strength, composition, color, texture, and mortar joint width.
- A new mortar with a high content of Portland cement should not be used in repointing historic masonry joints, unless that is the content of the historic mortar; Portland cement can create a bond that is stronger than the historic materials and can cause damage to the historic masonry as the mortar expands and contracts with temperature changes.
- Appropriate repointing techniques and tools should be used to avoid damage to historic masonry and masonry joints.
- Unpainted historic masonry should not be painted unless it is severely damaged or deteriorated.



✗ This brick masonry has been poorly repointed.



**X** This brick wall has been sandblasted, removing the hard outer coating of the bricks; in an effort to stop deterioration, the wall has also been painted.



**✓X** The upper portions of this brick masonry appear to be in good condition; however, the lower portions have lost mortar and have been poorly repointed.

# Signage

Signage on the exterior of commercial buildings is a vital component of a business's promotion of itself. It not only helps customers identify and locate a place of business, but it also provides a business's image. Therefore, it is important that signage is designed and placed in a manner that is both visible and complimentary. Signs that are too large overwhelm the building on which they are located and detract from the building's architectural qualities. Appropriately designed and sized signage helps make a commercial area unique and attractive to customers. Newnan has creative and well-designed signs that serve as examples of good signage as well as historic signs that should be retained.

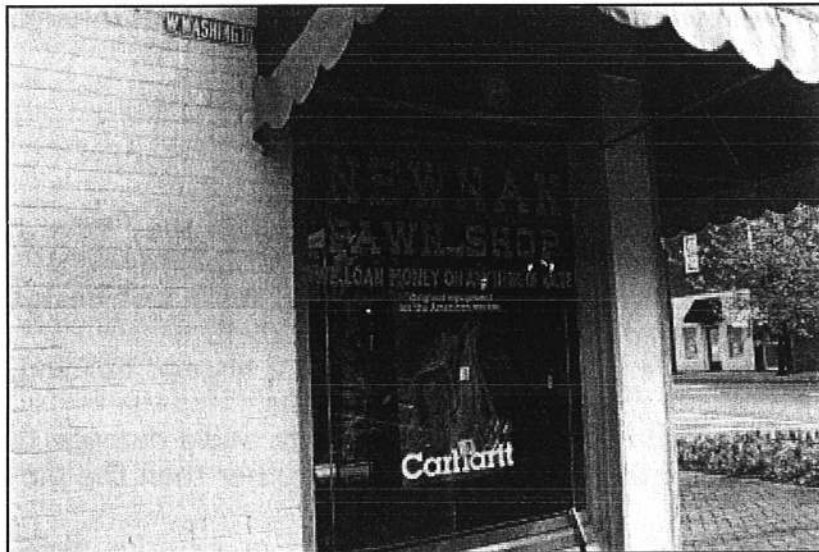
The City of Newnan Sign Ordinance (Chapter 31, Zoning Ordinance) regulates the size and placement of all signs within the city's corporate limits. The sign ordinance should be consulted when designing and placing new signs on businesses throughout the historic district.

## Guidelines

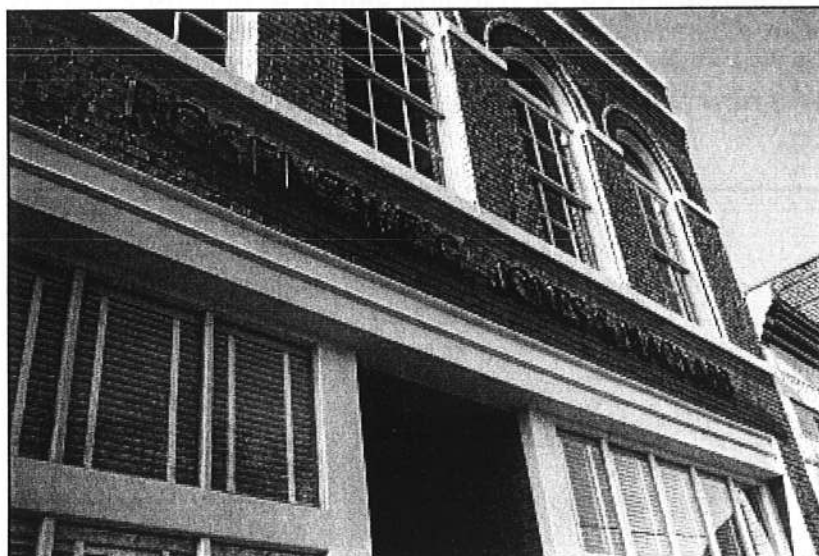
- Retain historic signs whenever possible, particularly when they have a historic association for the community or are significant for their design.
- New signs for historic buildings should respect the size, scale, and design of the historic building and should not overpower the building.
- New signs should not obscure significant features of a historic building, such as transoms, windows, or other architectural details.
- New signs should be attached to a building carefully to avoid damage to historic fabric. Fittings should penetrate mortar joints rather than the masonry.
- Signs can be in the form of paint on window glass or exterior walls, attached signs in the signboard area, or hanging signs; a building's historic features and details can often suggest a motif for new signs.
- Sign materials should be characteristic of a building's period and style.
- Creativity in designing new signs is encouraged to create interest throughout the historic district.



✓ Awnings are an appropriate place for signs.



✓ Creative signage may also be painted on display windows.



✓ Signs may be placed in the rectangular sign space directly above the storefront in most commercial buildings.



✓ Historic signs that have a significant community association should be retained.



✓ This hanging sign is appropriately sized and placed on the corner to allow visibility along two streets.



# Awnings

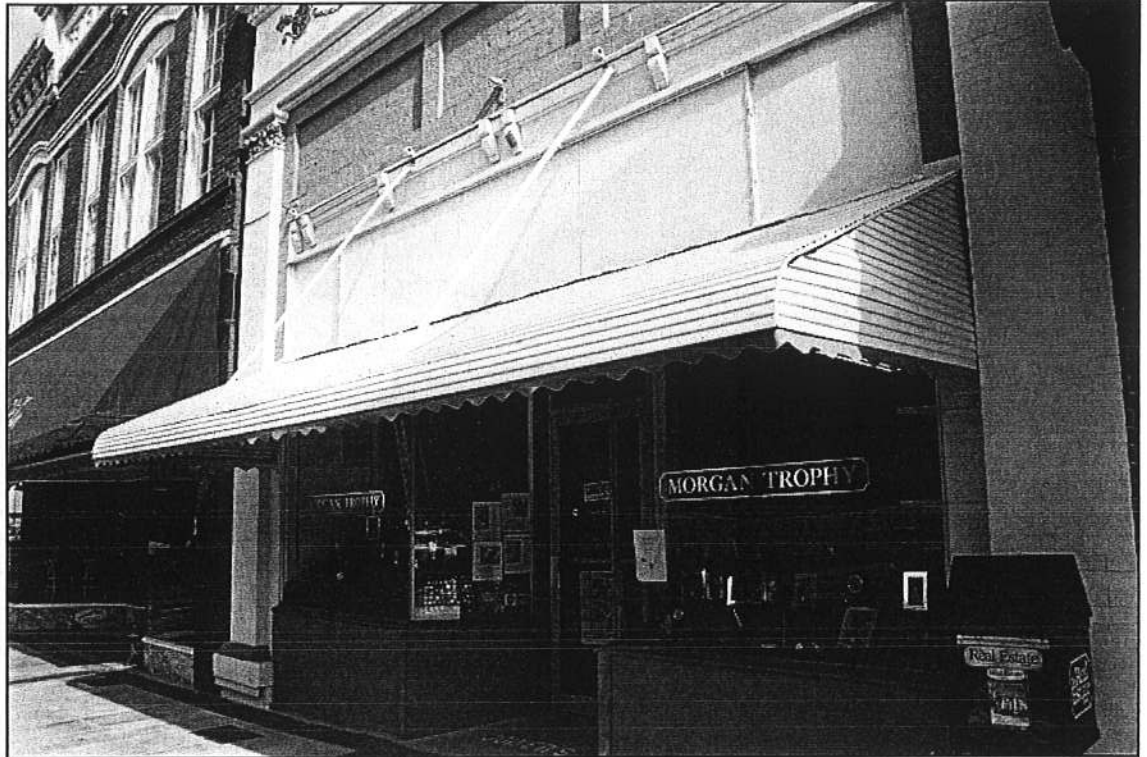
Awnings were historically used on commercial buildings to provide protection from the weather for both the customer and the storefront itself. They continue to be used for this purpose today as well as to provide a visual enhancement for commercial building facades and an appropriate place for signage.

## Guidelines

- Awnings placed over display windows are encouraged and often are suitable locations for signage; they should be mounted inside the storefront opening.
- Canvas awnings are recommended; metal, bubble, and shingled awnings are discouraged.
- The design for a new awning should consider the color, shape, and height of surrounding awnings as well as the "line" other awnings create.
- Historic awnings that lend character to a building should be retained and repaired whenever possible.



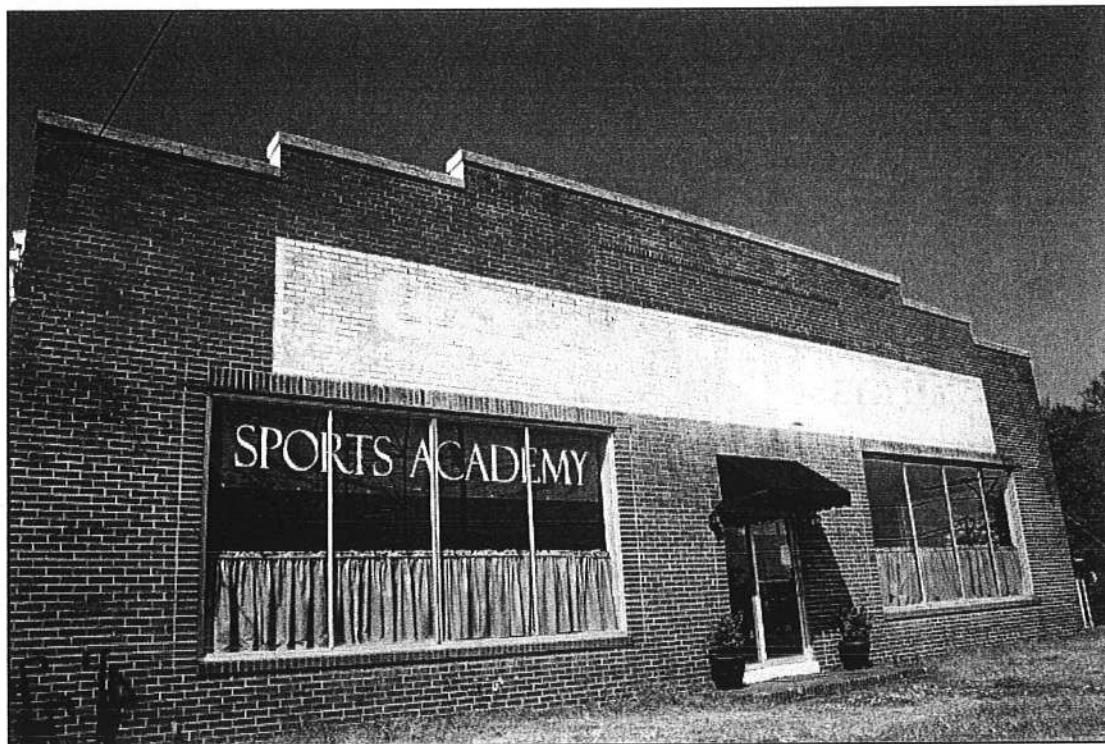
✓ Canvas awnings are the most appropriate awnings for historic commercial buildings.



✓ Some metal awnings are now becoming historic.



✓ A canvas "skirt" may be used to cover a nonhistoric flat metal awning.



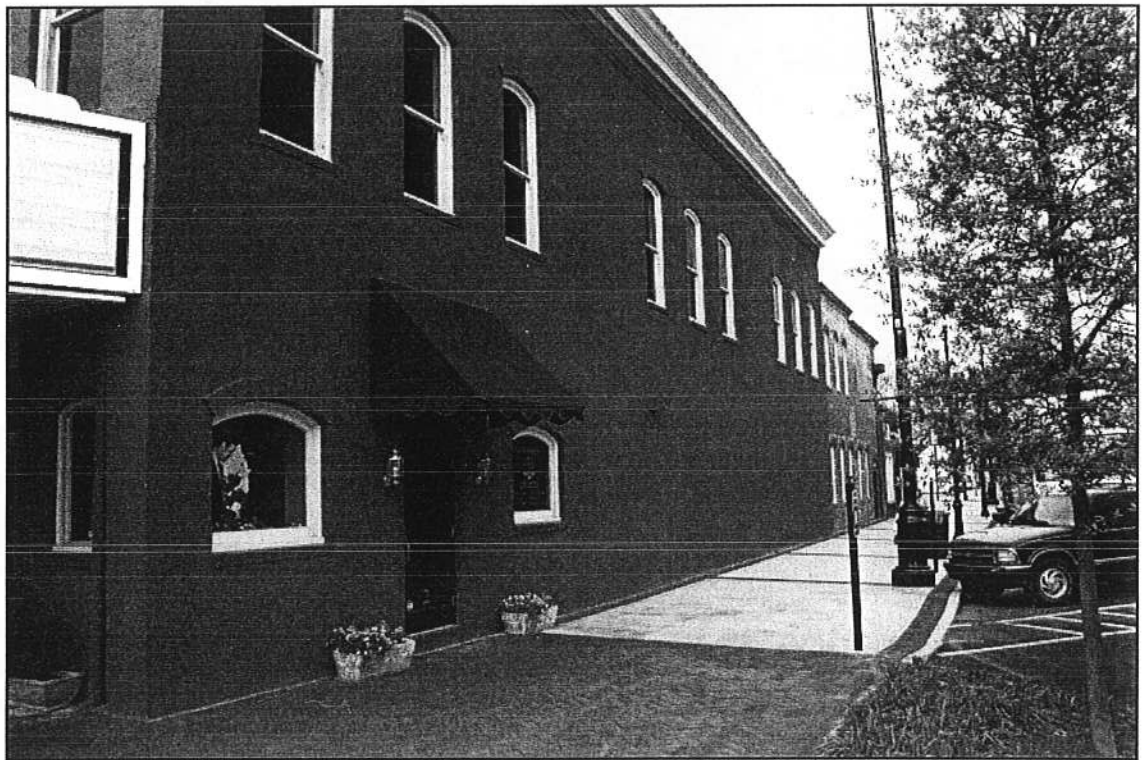
- ✓ Many industrial buildings have slightly pitched roofs and stepped parapet walls.

## Rear Entrances and Side Facades

With the majority of attention focused on the front facades of commercial and industrial buildings, rear entrances and side facades are often left unkempt and forgotten. Rear and side entrance access, however, can be attractive and convenient secondary entry points and advertisement opportunities for a business.

### Guidelines

- Retain and respect historic entrances on the rear and side facades; keep them well-maintained and attractive to customers and employees.
- New entrances on rear and side facades should be in keeping with a building's architectural style, details, and materials.



✓ Side facades, particularly on corner buildings, should be as well-maintained as front facades.





✗ This side facade has unfortunately lost its first-floor entrances and openings.



✗ These rear entrances could be made much more attractive and usable if they were properly maintained.

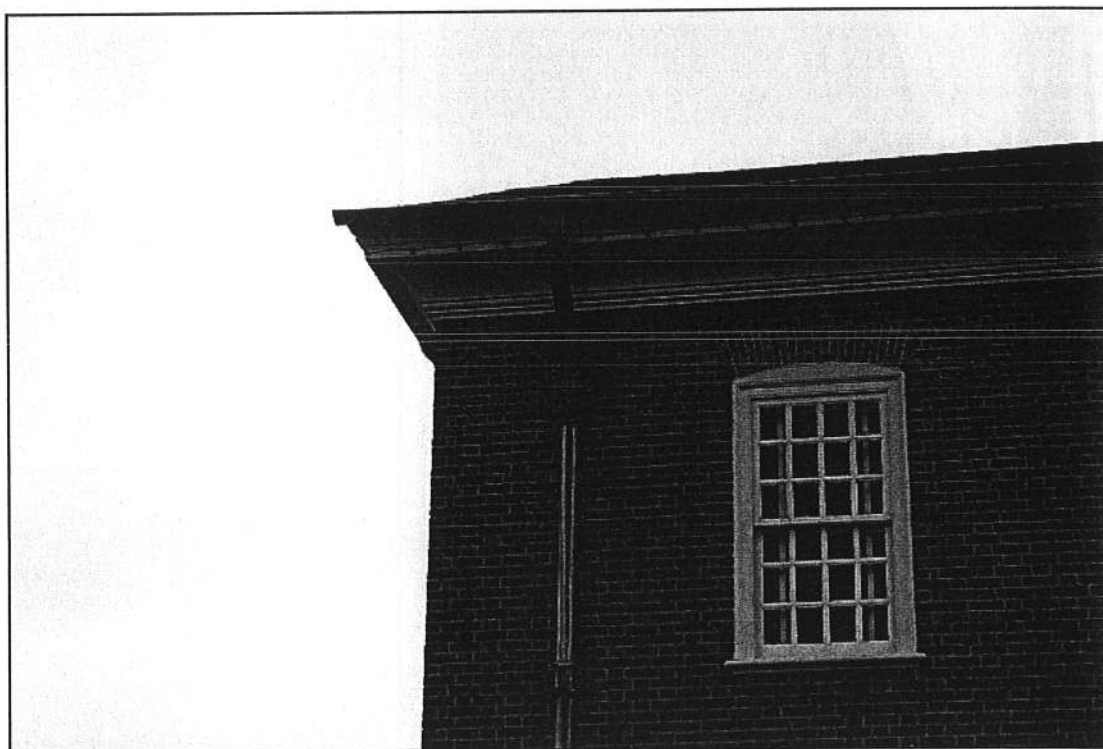


## Gutters and Downspouts

Adequate roof drainage is necessary to (1) ensure that roofing materials provide a weather-tight covering, and (2) prevent water from splashing against walls or draining toward buildings. Inadequate drainage, including missing and rusted gutters and downspouts, often leads to moisture damage in masonry walls and deterioration of building features. Most commercial building gutters are located behind masonry parapet walls and downspouts are located on rear walls toward which the buildings' flat or slightly pitched roofs usually drain.

### Guidelines

- Gutters and downspouts should be maintained in their original appearance and location.
- Inspect existing gutters and downspouts frequently to ensure they are unobstructed and that water is draining away from the building.
- If gutters and downspouts are deteriorated and need to be replaced, new gutters and downspouts should be similar to the original in materials and appearance.



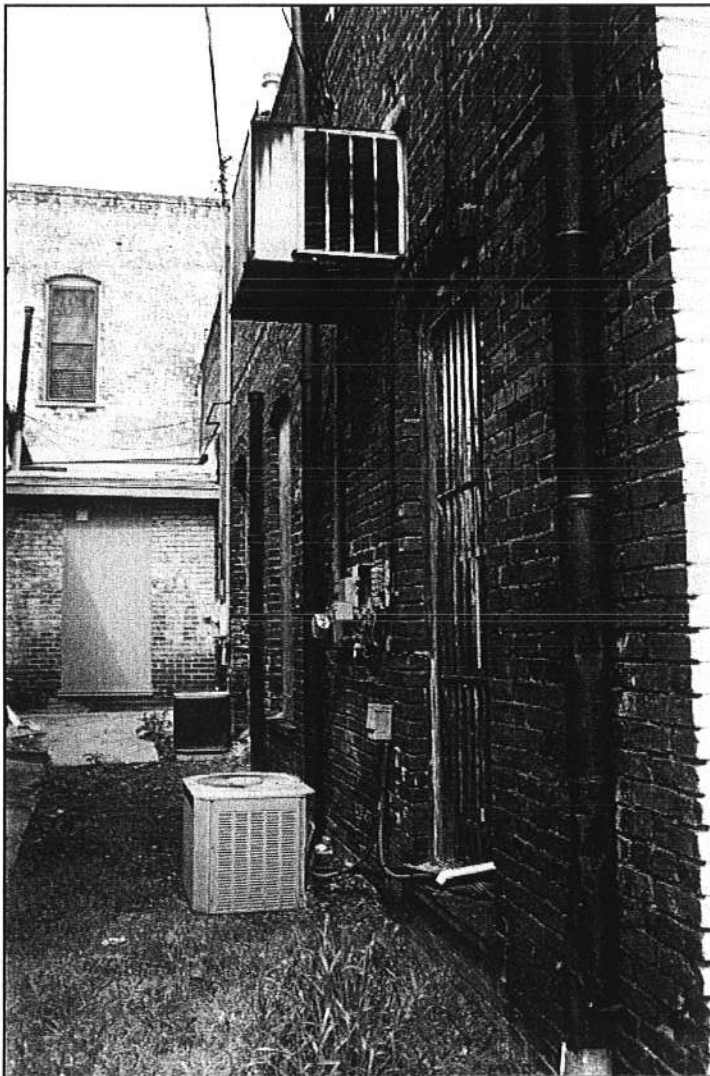
✓ This gutter and downspout system is well-maintained.

# Mechanical Services

Mechanical services are a necessary part of occupying a historic commercial building. However, mechanical equipment should be placed at the rear or side facade of a building, or even on a building's roof, rather than at the front facade.

## Guidelines

- Air conditioners and similar mechanical equipment should be placed so as not to detract from the historical integrity of a building.
- The primary facade(s) of a building should not be disrupted by the addition of mechanical services.



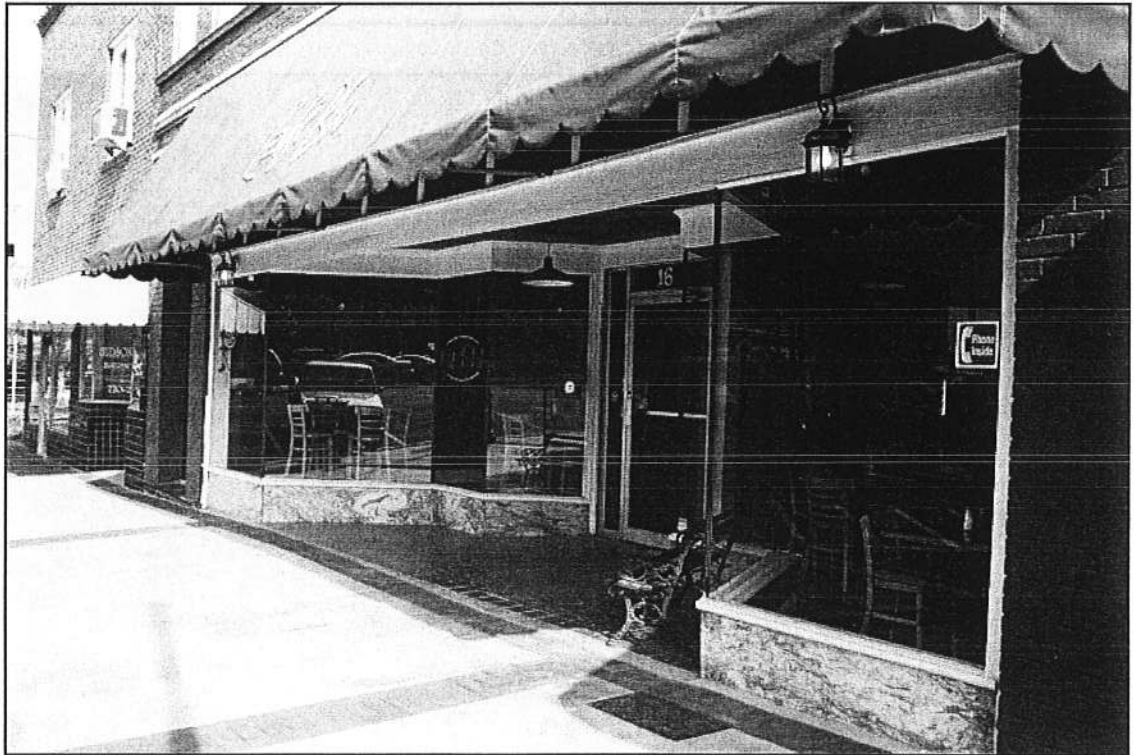
✓ This mechanical equipment is appropriately placed at the rear of these commercial buildings.

# Historic Additions & Alterations

Additions and alterations may have been made to commercial buildings over the years that are of quality workmanship and illustrate the evolution of commercial design. This is especially true of storefronts, where new materials and designs may have been introduced onto older commercial buildings to “modernize” the storefronts. For example, the addition of Carrara glass panels to storefronts was a popular treatment during the 1940s and 1950s. These additions and alterations made during the historic period may have become significant in their own right and worthy of preservation.

## Guideline

- Historic additions and alterations that have acquired significance in their own right, particularly storefront additions, should be preserved.



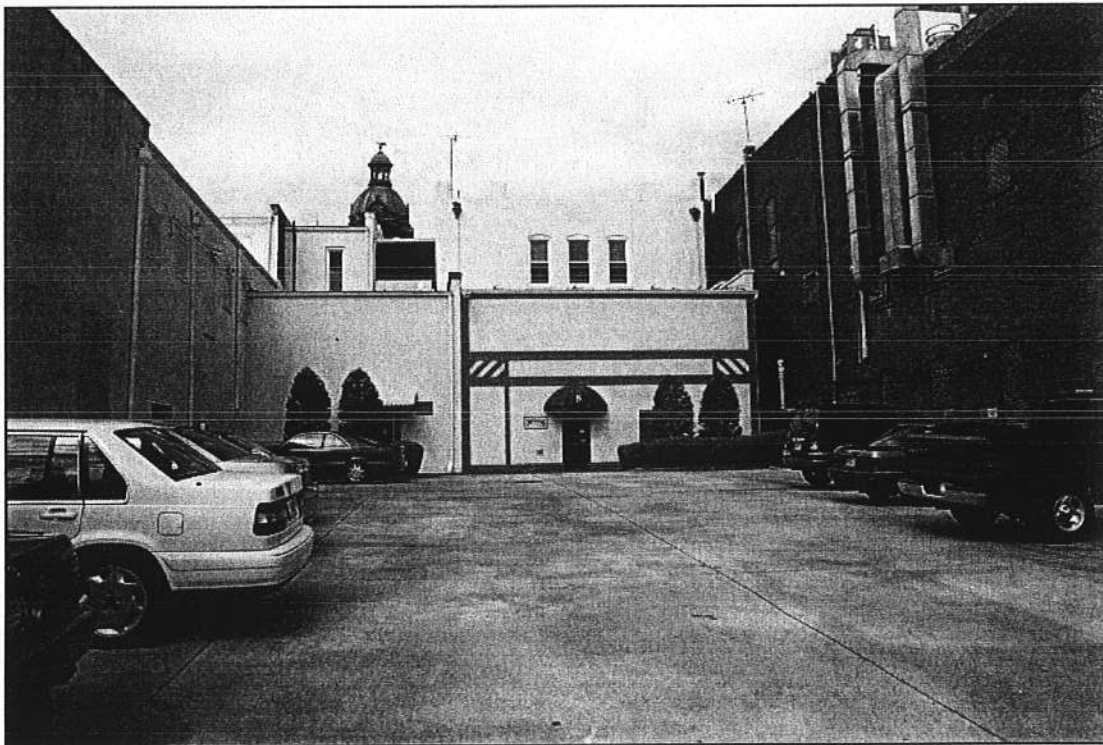
- ✓ This storefront is probably not original to the building but was added at a later date and has gained significance in its own right.

# New Additions to Historic Commercial Buildings

New additions to historic commercial buildings are not common and are generally made to the rear of a building, especially on attached buildings in a commercial row where space for expansion is limited.

## Guidelines

- Commercial building additions should be placed to the rear of the building and should be compatible with the existing structure.
- The design of the addition should be clearly differentiated so that the addition is not mistaken for part of the original building.
- The new addition should be designed so that a minimum of historic materials and character-defining elements are obscured, damaged, or destroyed.



✓ These additions have been appropriately placed at the rear of these commercial buildings.